



TOWN OF ELON PUBLIC HEARING NOTICE

Rezoning Request RZ #2022-02 submitted by Greenhawk Development, LLC., for property located northeast of University Drive and Elon Ossipee/ Shallowford Church Road. Approval of the request would change the zoning of a +/- 57.72 acre parcel identified by Parcel ID #110257 from the Neighborhood Residential Planning District (NR) and Village Center Planning District (VC) to the Neighborhood Residential-Conditional Planning District (NR-CPD) and Village Center-Conditional Planning District (VC-CPD).

- Application with –
 - Master Plan
 - Conditions submitted by applicant
 - Project Narrative
- Community Informational Meeting invitation
- Mailed notice of public hearing
- Maps

Schedule:

Tuesday, June 21, 2022, 6:00 p.m.

Elon Planning Board recommendation to Town Council

Monday, June 27th, 2022, at 6:00 p.m.

Elon Town Council (formerly Board of Aldermen) Public Hearing, accessible online and by call-in, see below.

Tuesday, July 12th, 2022, at 6:00 p.m.

Final Town Council vote on the rezoning request

All meetings are held at Elon Town Hall, 401 S. Williamson Ave.

APPLICATION



TOWN OF ELON
104 S. Williamson Avenue
Planning & Zoning
336-584-2859 336-584-5334 (fax)

APPLICATION FOR CONDITIONAL REZONING

Application #: RZ-2022-02 Submittal Date: 4/6/22 Fees: \$450 + \$79.50

Fees: \$450 + mailing (staff will estimate), due with application 30 days before the Planning Board Meeting.

Property Information

Project Name: PAC Northwest
GPIN/Parcel Number(s): 8846-80-2218 Acreage: 57.72
GPIN/Parcel Number(s): _____ Acreage: _____
GPIN/Parcel Number(s): _____ Acreage: _____

Indicate if a portion of a parcel is requested for rezoning.

Current Zoning: _____ Proposed Zoning: _____ -CPD

List all applicable districts, including overlay districts, in current and proposed zoning.

Owner Information

All owners of the property must be listed and sign the affidavit of ownership. Use attachments if needed.

Name: Cable/Murray LLC Ronald Murray
Address: 680 Cable Road MANAGER
City: ELON State: NC Zip: 27544
Phone: 336-202-7523 Email: MURRAYR2@YAHOO.COM
Other contacts: Jason D. Mesco jmesco@greenebank
corp.com

Affidavit of ownership and acknowledgment:

An application has been duly filed requesting a rezoning according to the attached conditions and listed above. I certify that I am the owner of the requested property. It is understood and acknowledged that if the property is rezoned as requested and the Conditional District authorized, the property involved in this request will be perpetually bound to the uses and conditions as imposed unless subsequently changed or amended by the Town of Elon Board of Aldermen.

Signature of Owner

Signature of Owner

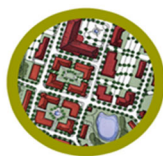
parc northwest

elon, north carolina



conditional zoning master plan

June 14, 2022



TMTLA Associates

Landscape Architecture - Town Planning - Urban Design
www.tmtla.com

developer:

GreenHawk Corporation, INC.
1330 Sunday Drive, Suite 105
Raleigh, NC 27607
919 861-2929

landscape architect/land planning:

TMTLA Associates
5011 Southpark Drive, Suite 200
Durham, NC 27713
919 484-8880

civil engineering:

LEADS Group, PA
505 East Davis Street
Burlington, NC 27215
336 229-8724

environmental consultants:

Pilot Environmental, INC.
PO Box 158
Kernersville, NC 27285
336 310-4527

traffic consultants:

Gannett Flemming
28 Schenck Parkway, Suite 200
Asheville, NC 28803
336 771-0871

contents:

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<u>12</u>	<u>existing zoning</u>
<u>13</u>	<u>proposed zoning</u>
<u>14</u>	<u>development standards</u>
<u>16</u>	<u>master plan</u>
<u>17</u>	<u>preliminary utility plan</u>
<u>18</u>	<u>preliminary grading plan</u>
<u>19</u>	<u>committed architectural elements:</u>
	<ul style="list-style-type: none">• residential detached• residential attached• mixed use• open space, amenities & streetscapes
<u>27</u>	<u>details</u>

project narrative:

parc northwest

Project Narrative and Statement of Reasonableness and Compliance with the Town of Elon 2040 Land Use Plan

parc northwest is in the northwest corner of the intersection of University Parkway and Elon Ossipe & Shallowford Church Roads. The site is 57.72 acres in size and can be further identified as a portion of Alamance County GPIN 8846802218. The property is in the extra territorial jurisdiction of the Town of Elon but is currently not in the Town's corporate limits.

The topography is gently rolling, mostly wooded and drainage patterns flow toward the north within the Cape Fear River Basin. Field environmental delineations confirm the existence of jurisdictional wetlands and two streams, one perennial and one intermittent. Both streams are subject to riparian buffers. The two buffers divide the property into three distinct areas suitable for development.

The official Zoning Map for the Town indicated two planning districts, Neighborhood Residential and Village Center. The Town maps also reveal the presence of a Traditional Neighborhood Development (TND) Overlay District offering additional requirements to the traditional planning districts. This overlay district brings us to the design concept for parc northwest.

parc northwest has been carefully crafted in its rezoning request to fulfill the requirements of the Town and its vision for a quality development for a walkable community close to the university. Sustainable development mixing the everyday commercial service needs for residents with a variety of housing options with open spaces fulfills the desires of the Town long range objectives. Building types are situated close to the street to define the public realm and create the sense of spatial arrangement where the automobile is secondary. Tree lined streets are seamlessly connected within the neighborhood and to adjacent development and properties extending in the future.

Design standards have been crafted to enhance the Town's TND Overlay regulations and to compliment the details of time-honored TND principles. The conditions of the request will offer the Town comfort and assurance that the neighborhood will be constructed as offered and maintained with its vision intact. Great walkable neighborhoods of the 20's and 30's, similar to historic Elon, will be new again in Elon. We look forward to a first of its kind old neighborhood, parc northwest.

The project and the District Conditions proposed are in conformance with the Town of Elon

project narrative:

2040 Land Use Map in regards to the location at the intersection of University and Shallowford Church. The property is currently zoned appropriately to achieve the goals and objectives.

The transitioning density to the west and north within the neighborhood brings conformity and compatibility to surrounding uses.

The current and existing Traditional Neighborhood Development Overlay district is upheld, and the supplemental district standards herein solidify our commitment to foster those goals.

The neighborhood design minimizes the adverse effects to the environment in regards to stream and wetland impacts, traffic by working with NCDOT and our Traffic Engineer on access points, parking and loading being located behind or to the side of non-residential buildings and striving to eliminate any impacts of noise, glare and vibration from more heavily commercial uses.

The more intense areas of the neighborhood are located on the upland areas of the site reducing environmental impacts.

Public services and facilities impacts are minimized via tax revenues supporting the improvements made by the developer.

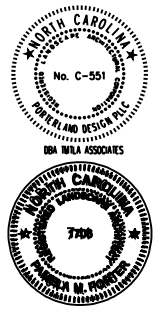
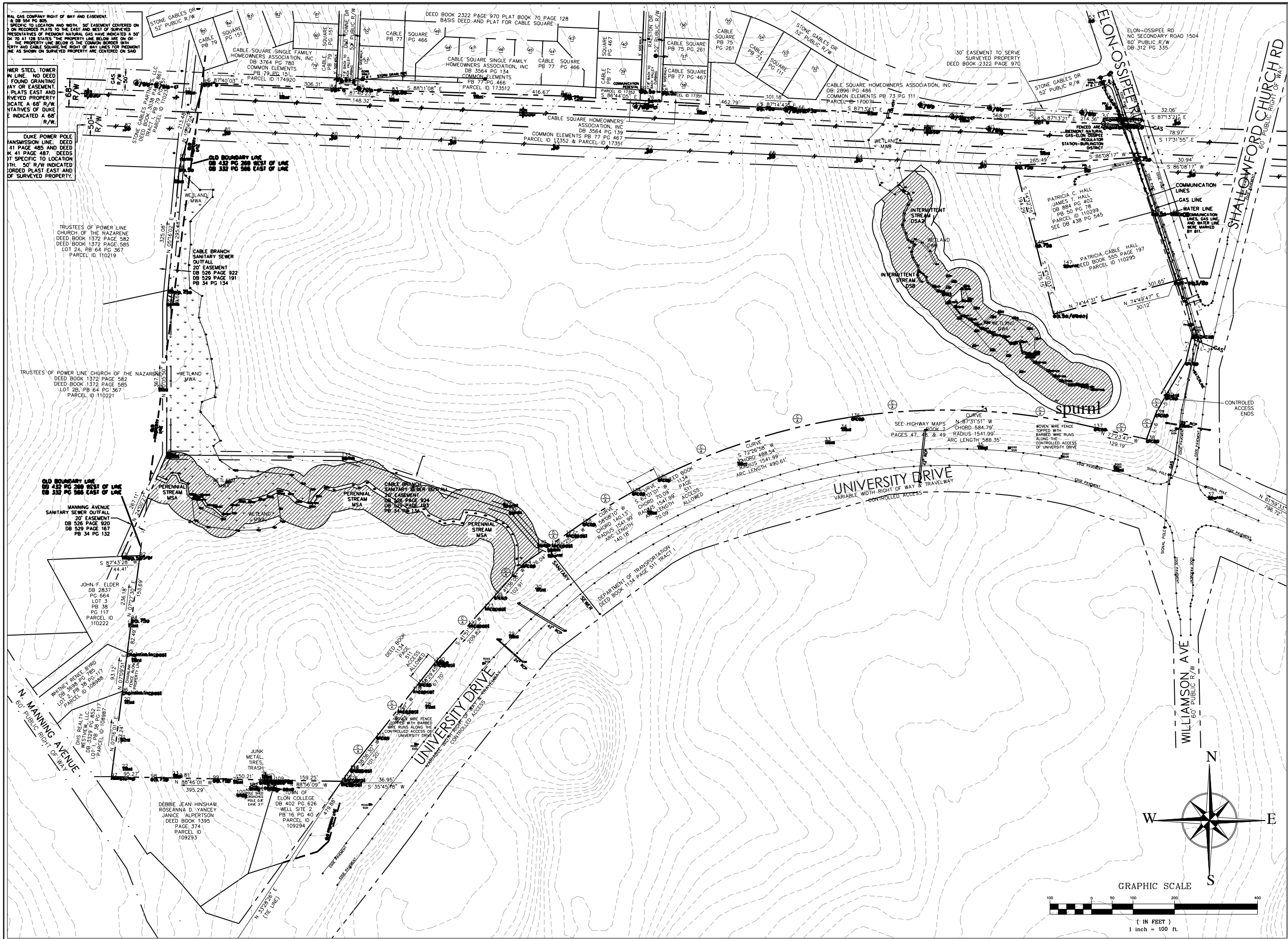
The health, safety and welfare of the existing residents, students and faculty of the university are improved by our commitment to providing an offsite pedestrian path from the neighborhood to the university property along Williamson Avenue.

The proposed neighborhood will be a benefit to adjoining properties and the town by providing quality residential homes in accordance with Town Guidelines in respect to location, transitioning densities moving south toward the busy intersection of University and Shallowford Church and by providing the pedestrian connection to the main part of town and to the University for pedestrians.

The densities proposed for parc northwest, residential and commercial, are lower than allowed per the current zoning designations of Neighborhood Residential and Village Center with the Traditional Neighborhood Overlay District. Traffic impacts to surrounding properties, neighborhoods and existing residential properties are minimized by directing the majority of the development's traffic to University Parkway. Existing street stubs from the neighborhood to the north are connected for the purposes of reducing traffic for trips offsite and allowing emergency medical services multiple options to reach residents in the event of an emergency.

vicinity map:





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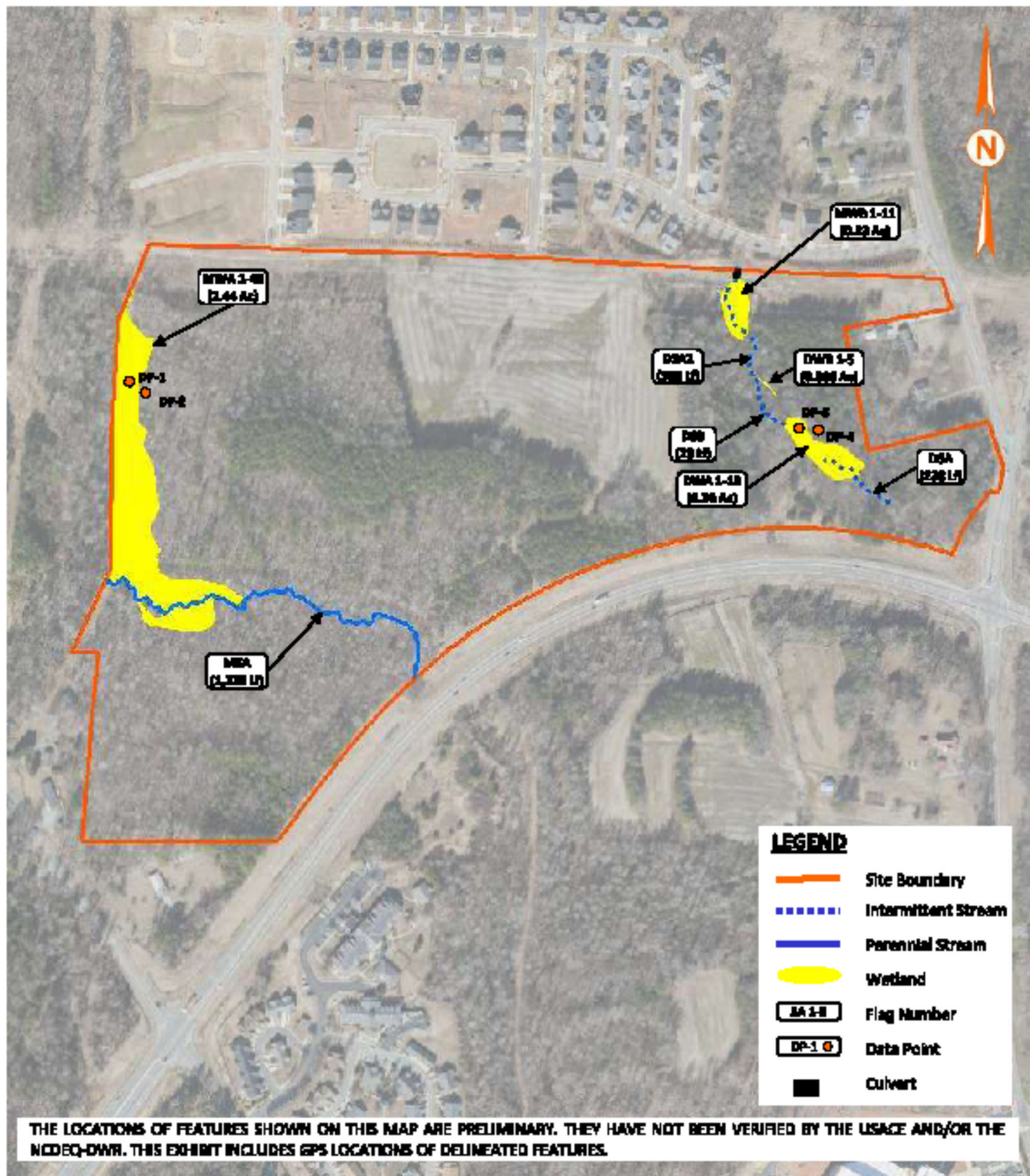
REVISIONS:
5/4/22 Per Town Comments

EXISTING CONDITIONS
parc northwest
UNIVERSITY PARKWAY, ELON, NC
Green Hawk

SCALE:
1"=100'
DRAWN BY:
TMT
PROJECT #
21213
DATE:
04/06/2022
SHEET
Z-1
OF

TMTLA ASSOCIATES
5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713
P: (919) 484-8880 E: info@tmtla.com

environmental assessment:



Drawing 5
Satellite Imagery from ESRI
and Pilot GPS Data
Scale: 1" = 200'
Date: 9.8.21



Wetland Map
Approximate 58.2-Acre Tract
University Parkway
Elon, Alamance County, NC
Pilot Project 7163

zoning: proffered conditions

1. The maximum number of single-family residential dwelling units shall be 200 units.
2. The maximum number of multi family dwelling units shall be 200 units.
3. The maximum square footage for non-residential units shall be 100,000 s.f.
4. The project shall provide customized standards for architecture, design, and landscaping to review and approval prior to the first phase construction documents.
5. On street parking spaces throughout the development (?) shall be counted toward the required number of spaces for any use.
6. A Master Sign Plan shall be submitted for review and approval prior to the installation of any signage.
7. The following uses shall be restricted from the Village Center district:
 - 7.1. Adult Business
 - 7.2. Tattoo Parlors
 - 7.3. Sweepstakes
 - 7.4. Car Wash
 - 7.5. Parking Lot as a Principal Use
 - 7.6. Drive Through Windows Associated with a Restaurant
 - 7.7. Commercial Outdoor Kennels
 - 7.8. Funeral Homes
 - 7.9. Gasoline Station
 - 7.10. Outdoor Sales, Display or Service of Vehicles, Boats, Heavy Equipment or Manufactured Homes
 - 7.11. Outdoor Storage
 - 7.12. Outdoor Storage of Construction Equipment
8. On-street public parking spaces shall not be used for long term parking or storage of unused vehicles.
9. On street public parking shall only be in designated marked spaces.
10. Development shall be in substantial compliance with the Master Plan, Development Standards, Dimensional Standards, and Committed Architectural Elements dated ____.
11. Streets will be developed in accordance with street sections approved with the Master Plan, Development Standards, Dimensional Standards, and Committed Architectural Elements dated_____.

zoning: proffered conditions

12. The development shall be held in unified ownership or control through owner's association documents.
13. The developer will provide a pedestrian connection between the development and existing public sidewalk leading downtown on the western side of Williamson Avenue along the frontage of the Cable Murray LLC Property, PIN 110257.
14. NCDOT change in controlled access on University Parkway is required.
15. The project will comply with all NCDOT requirements of the TIA.
16. The project proposes an additional typical street section of 27-ft back to back, private alley way typical sections, and site specific street geometry as presented on the conditional zoning plan of record.
17. There shall be no public waste, bulky materials, yard waste collection, or recyclables collection on any off-public right of way street or alley.
18. The project proposes to sign 27-ft back to back public streets as "no parking".
19. The project proposes to conform to the Town of Elon Ordinance standards for site lighting and site landscaping unless otherwise conditioned for fire apparatus access.

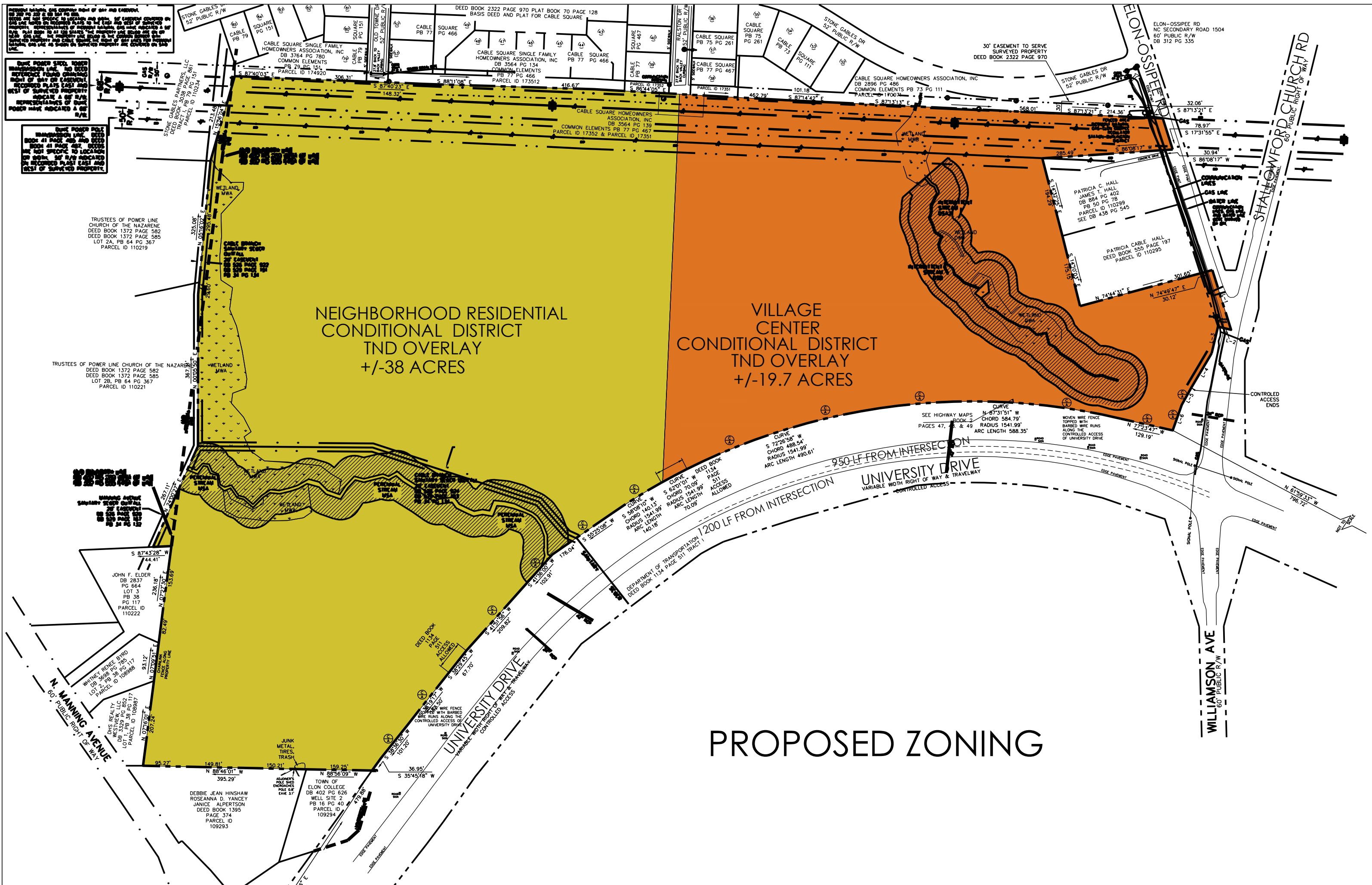
zoning map notes:

1. Boundary information provided by Landmark Surveying, dated 2021.
2. Planimetrics for property and adjacent properties provided Landmark Surveying.
3. Topographic information taken from Alamance County GIS information.
4. There are no F.E.M.A. floodplains on this site.
5. Preliminary wetlands linework provided by Pilot Environmental, Inc. dated 9/8/2021.
6. Stream and Cape Fear Riparian Buffer delineations by Pilot Environmental, Inc. dated 9/8/2021.
7. The project shall adhere to the recommendations of the Transportation Impact Analysis and requirements of the North Carolina Department of Transportation for access to University Parkway.
8. All construction shall conform to the standards and specifications of the Town of Elon and the North Carolina Department of Transportation.
9. Annexation into the Town of Elon is required prior to approval of water and sewer permits.
10. All open space shall be owned and maintained by a duly created Homeowners Association for the development.
11. Provisions for cross access parking shall be utilized for all parking for mixed-use, office and commercial uses.
12. This development is located within the Jordan Lake Watershed and is subject to all associated requirements.
13. All open space shall be owned and maintained by a duly organized and recorded Home Owners Association, HOA.

fire protection notes:

1. The project proposes to provide 26-ft clear space along street side and drive lanes side to facilitate fire apparatus access to hydrant locations where adjacent to multi-story buildings One, Two, and Three.
2. The project proposes to limit the height of streetscape plantings behind the curb where adjacent to multi-story buildings One, Two, and Three to 10 feet.
3. Curb painting, signage, or pavement striping shall be used in front of hydrant locations designating no parking areas in non-residential areas of the development.





development standards:

DEVELOPMENT STANDARDS:

LDO STANDARD	NR-CD TND-O	LDO DEVIATION	LDO STANDARD	VC-CD TND-O	LDO DEVIATION
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NEIGHBORHOOD RESIDENTIAL DISTRICT

VILLAGE CENTER DISTRICT

A. BUILDING SETBACKS TO PUBLIC STREETS

Primary Street Min.	10'	10'	NONE	10'	0'	10'
Side Min.	8'	3'	5'	0'	0'	NONE
Rear Min.	25'	15'	10'	10'	0'	10'
Side Street Min.	10'	10'	NONE	NONE	0'	NONE
Front Maximum	25'	25'	NONE	25'	25'	NONE
Accessory Struct./Garage	N/A	3'	NONE	5'	0'	5'
Alley Garage to Pvm.	15'	10'	5'	5'	5'	NONE

B. MAX. BUILDING HEIGHTS

All Buildings	N/A	35'	N/A	N/A	50'	N/A
Stories	2	3	1	3	4	1

C. MINIMUM LOT AREA

Single Family Detached	6,000 sf	3,000 sf	3,000 sf	No Min.	3,000 sf	3,000 sf
S.F. Attached (Townhome)	N/A	1,800 sf	1,800 sf	No Min.	1,800 sf	1,800 sf
Multifamily/Apartment	N/A	N/A	N/A	No Min.	No Min.	N/A
Office/Mixed Use	N/A	N/A	N/A	No Min.	No Min.	N/A
Commercial/Retail	N/A	N/A	N/A	No Min.	No Min.	N/A
Civic	N/A	No Min.	N/A	No Min.	No Min.	N/A

D. MINIMUM LOT WIDTH

Single Family Detached	60'	26'	34'	16'	26'	10'
Attached Row House	N/A	18'	N/A	16'	18'	2'
Multifamily/Apartment	N/A	N/A	N/A	16'	No Min.	NONE
Office/Mixed Use	N/A	N/A	N/A	No. Min.	No Min.	NONE
Commercial/Retail	N/A	N/A	N/A	No. Min.	No Min.	NONE
Civic		No Min.	N/A	No. Min.	No Min.	NONE

E. SPECIAL BUILDING SETBACKS & BUFFERS

University Parkway	15'	50'	35'	15'	25'	10'
Elon Ossippee and Shallowford Church Roads	15'	N/A	35'	15'	10'	5'

F. MAXIMUM DENSITY

Residential Units	275	200 Units Max	NONE	N/A	250 Units Max	NONE
Non-Residential SF	N/A	N/A	NONE	N/A	100,000 SF MAX.	NONE
Workplace Buildings	N/A	NONE	NONE	6,000 SF	100,000 SF	NONE

N/A indicates that a standard does not apply to a particular use within a District

development standards:

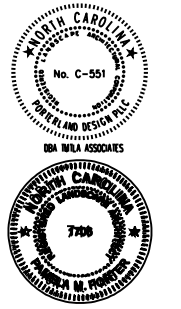
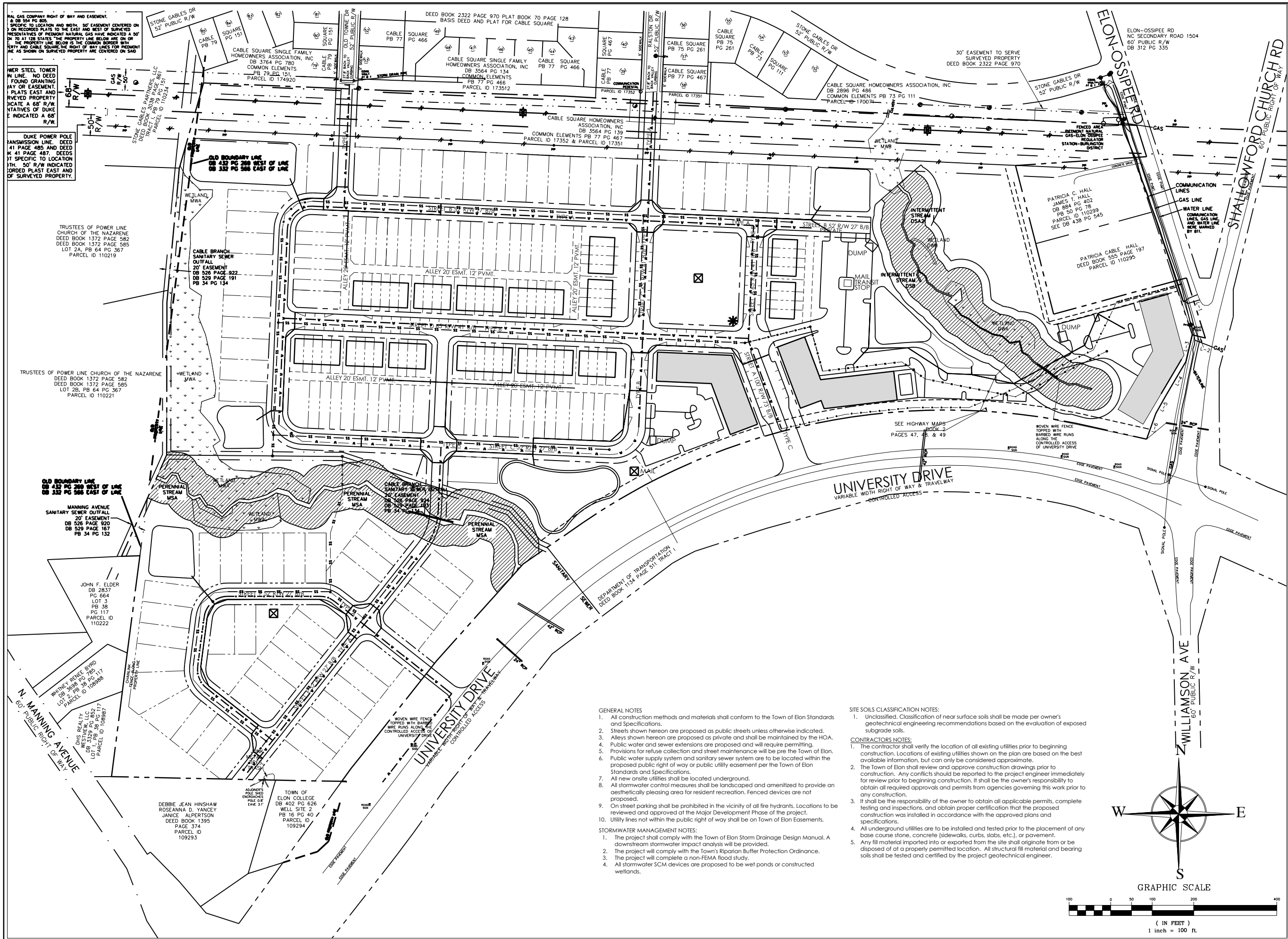
G. MIX OF BUILDING TYPES IN TOTAL

	LDO	PROJECT	DEVIATION
Detached Houses	15-50%	29%	NONE
Attached Houses or Apts.	10-30%	31%	1%
Live/Work Units	2-10%	0%	2%
M/F Dwell. Above Comm.	5-20%	40%	20%

H. MIN. & MAX. LAND AREA FOR NON-RESIDENTIAL BUILDING TYPES

	LDO	PROJECT	DEVIATION
Storefront or Work-place	5-30%	17%	NONE
Civic	2-15%	0%	2%
Offices above Re-tail	0-15%	0%	NONE

- 1 Non residential uses in VC shall be limited to 50,000 sf maximum single use square footage and shall be located on a block corner facing the Primary street. Ref. LDO Sec. 3.12.2
- 2 Apartments above Commercial shall be allowed in the VC Planning District
- 3 Village Center may be no more than 1,400 feet in diameter. Ref. LDO Sec. 3.6.3.D
- 4 No block face may have a length greater than 800' without a dedicated alley or pathway with through-access. Ref. LDO Sec. 3.12.5.C.9
- 5 Lamp posts shall be installed on both sides of the street in the range of 80-120' apart. Ref. LDO Sec. 3.12..5.C.10
A detailed lighting plan shall be designed and approved in the Major Development Phase of the Project.
- 6 Storefront & Live/Work buildings will provide street level, pedestrian-oriented uses on street fronts within the project, not Univ. Pkwy. Ref. LDO Sec. 5.4.1.3.E
- 7 Large buildings fronting multiple streets should provide multiple entrances. Entrances connecting to a central lobby should be accessible from streets fronting streets within the project, not University Parkway. Ref. LDO Sec. 5.4.1.3.J
- 8 The maximum block length without a cross street shall be 800'. Ref. LDO Sec. 5.7.4.4
- 9 When a rear loaded alley is provided, wet utilities shall be located within the street right of way and dry utilities in the alley easement. Ref. LDO Sec. 5.7.4.6
- 10 Landscape Buffers shall not be required between any uses within the boundary of the project. Ref. LDO Sec. 5.8.3.2
- 11 The height of the top of project identification sign board, or any of the posts, brackets, or other supporting elements will not exceed 12 feet from the ground. Ref. LDO Sec. 5.10.3.1.C



LEADS GROUP, PA
5-4-2022



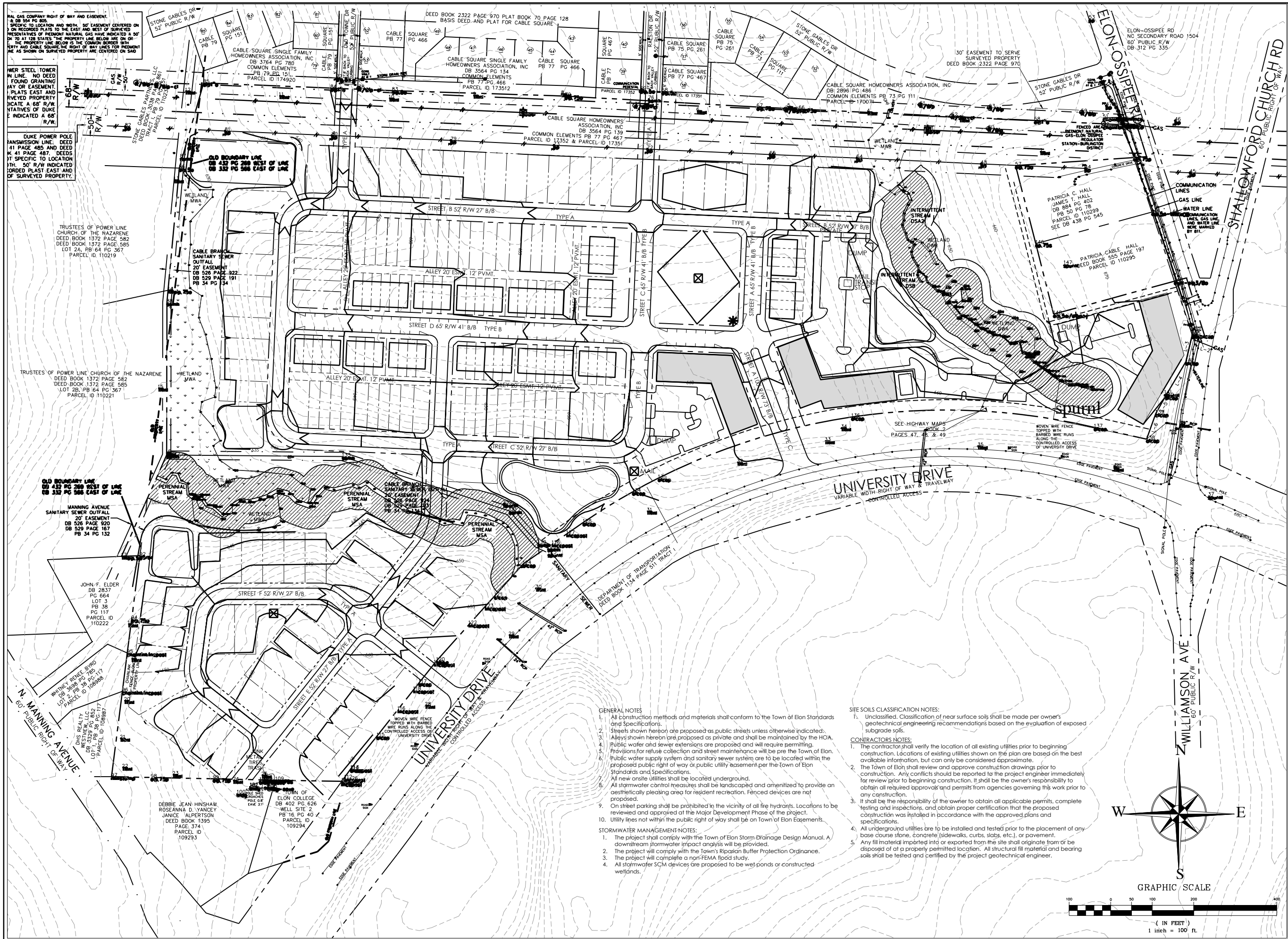
REVISIONS:
5/4/22 Per Town Comments

PRELIMINARY UTILITY PLAN
parc northwest
UNIVERSITY PARKWAY, ELON, NC
Green Hawk

SCALE:
1"=100'
DRAWN BY:
CH
PROJECT #
21213
DATE:
04/06/2022

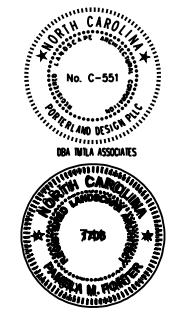
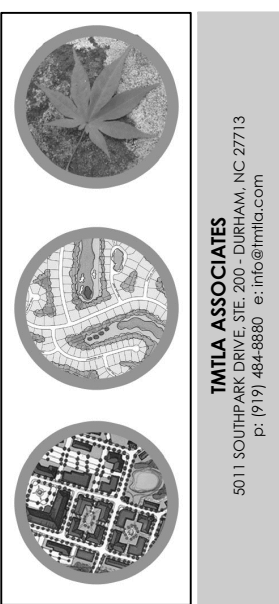
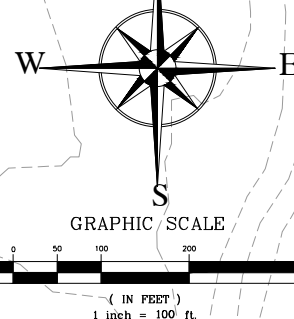
SHEET
Z-4
OF

TMTLA ASSOCIATES
5011 SOUTHPARK DRIVE, STE. 200 - DURHAM, NC 27713
p: (919) 484-8880 e: info@tmtla.com



- GENERAL NOTES**
1. All construction methods and materials shall conform to the Town of Elon Standards and Specifications.
 2. Streets shown hereon are proposed as public streets unless otherwise indicated.
 3. Alleys shown hereon are proposed as private and shall be maintained by the HOA.
 4. Public water and sewer extensions are proposed and will require permitting.
 5. Provisions for refuse collection and street maintenance will be the Town of Elon.
 6. Public water supply system and sanitary sewer system are to be located within the proposed public right of way or public utility easement per the Town of Elon Standards and Specifications.
 7. All new on-site utilities shall be located underground.
 8. All stormwater control measures shall be landscaped and amenitized to provide an aesthetically pleasing area for resident recreation. Fenced devices are not proposed.
 9. On-site parking shall be prohibited in the vicinity of all fire hydrants. Locations to be reviewed and approved at the Major Development Phase of the project.
 10. Utility lines not within the public right of way shall be on Town of Elon Easements.
- STORMWATER MANAGEMENT NOTES:**
1. The project shall comply with the Town of Elon Storm Drainage Design Manual. A downstream stormwater impact analysis will be provided.
 2. The project will comply with the Town's Riparian Buffer Protection Ordinance.
 3. The project will complete a non-FEMA flood study.
 4. All stormwater SCM devices are proposed to be wet ponds or constructed wetlands.

- SITE SOILS CLASSIFICATION NOTES:**
1. Unclassified. Classification of near surface soils shall be made per owner's geotechnical engineering recommendations based on the evaluation of exposed subgrade soils.
- CONTRACTORS NOTES:**
1. The contractor shall verify the location of all existing utilities prior to beginning construction. Locations of existing utilities shown on the plan are based on the best available information, but can only be considered approximate.
 2. The Town of Elon shall review and approve construction drawings prior to construction. Any conflicts should be reported to the project engineer immediately for review prior to beginning construction. It shall be the owner's responsibility to obtain all required approvals and permits from agencies governing this work prior to any construction.
 3. It shall be the responsibility of the owner to obtain all applicable permits, complete testing and inspections, and obtain proper certification that the proposed construction was installed in accordance with the approved plans and specifications.
 4. All underground utilities are to be installed and tested prior to the placement of any base course stone, concrete (sidewalks, curbs, slabs, etc.), or pavement.
 5. Any fill material imported into or exported from the site shall originate from or be disposed of at a properly permitted location. All structural fill material and bearing soils shall be tested and certified by the project geotechnical engineer.



LEADS GROUP, PA
5-4-2022

REVISIONS:

NO.	DESCRIPTION	DATE
1	Charles D. Huffine	C-1939

PRELIMINARY GRADING PLAN
parc northwest
UNIVERSITY PARKWAY, ELON, NC
Green Hawk

SCALE:
1"=100'
DRAWN BY:
CH
PROJECT #
21213
DATE:
05/04/2022
SHEET
Z-7
OF

TMTLA ASSOCIATES
5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713
P: (919) 484-8880 E: info@tmtla.com

architectural commitments

residential detached

1. All buildings shall have exterior siding from fiber cement (hardi-plank or similar, lap, shake and or board and batten), brick, stone, and/or cultured stone. Vinyl siding is prohibited.
2. Vinyl may be utilized for soffit, fascia, windows and trim.
3. All units shall have a covered front stoop or porch. Minimum depth of a porch is 8'. Minimum depth of a covered stoop is 5'.
4. All front doors shall have glazing, transom or sidelights.
5. All front facing garage doors shall have window inserts and carriage style hardware adornments.
6. All roofs shall have 30 year architectural asphalt shingles and or standing seam metal.
7. All roof eaves shall have a minimum 10" overhang.
8. Vertical chimneys rising above the eave shall be brick or stone wrapped. Lap siding chimneys are prohibited.



Note: All photographs are provided for size and massing.
Actual unit architecture will vary.

architectural commitments:

residential detached



Note: All photographs are provided
for size and massing.
Actual unit architecture will vary.

architectural commitments:

residential attached

1. All buildings shall have exterior siding from fiber cement (hardi-plank or similar, lap, shake and or board and batten), brick, and/or cultured stone. Vinyl siding is prohibited.
2. Vinyl may be utilized for soffit, fascia, windows and trim.
3. All units shall have a covered front stoop or porch. Minimum depth of a porch is 8'. Minimum depth of a covered stoop is 5'.
4. All front doors shall have glazing, transom or sidelights.
5. All townhomes shall be rear loaded from an alley.
6. All roofs shall have 30 year architectural asphalt shingles.
7. All roof eaves shall have a minimum 10" overhang.
8. All townhome lots shall be maintained by the HOA to include mowing turf, pruning and mulch.



Note: All photographs are provided for size and massing.
Actual unit architecture will vary.

architectural commitments: residential attached



Note: All photographs are provided
for size and massing.
Actual unit architecture will vary.

architectural commitments:

mixed use & multi-family above commercial

1. The principle entrance/s shall face the public street.
2. All buildings shall have exterior siding from brick, stone, glass, architectural precast concrete, split-faced concrete block architectural metal accents, fiber cement (hardi-plank or similar, lap, shake and b/or board and batten), and/or cultured stone. Other materials may be approved by the Zoning Administrator.
3. Vinyl siding and smooth-faced unfinished concrete block are prohibited.
4. Building elements allowed to encroach the public right-of-way are balconies, arcades, awnings, canopies, arcades, marques, and exterior building stairs.
5. Metal and aluminum may be utilized for soffit, fascia, windows, and trim.
6. A minimum of two building façade colors and materials shall be required.
7. Pedestrian pass through's shall be provided at ground level for all mixed use buildings greater than 300 feet in length.
8. Flat roofs shall be concealed by parapet walls with a minimum height of 3 feet.
9. All mechanical equipment shall be hidden from view of adjacent right of way.



Note: All photographs are provided for size and massing.
Actual unit architecture will vary.

architectural commitments:

mixed use & multi-family above commercial



Note: All photographs are provided
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architectural commitments:

open space, amenities, streetscapes & art installations



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architectural commitments:

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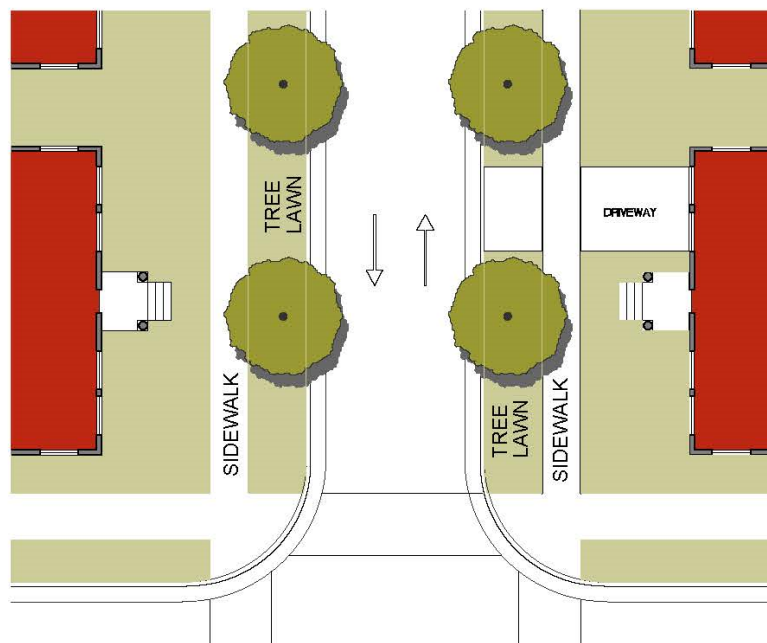
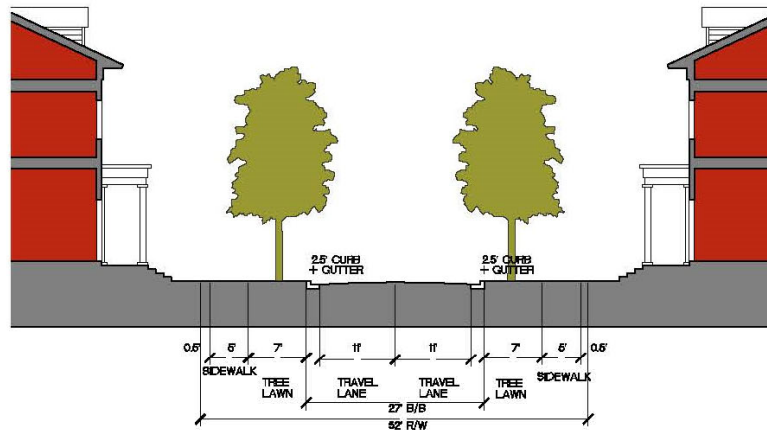


Note: All photographs are provided for size and massing. Actual unit architecture will vary.

details:

1. All streets shall be public and turned over to the Town of Elon for maintenance upon completion except as noted on Sheet Z-3.
2. Street sections are designed in accordance with the Town of Elon LDO and the NCDOT Guidelines for Traditional Neighborhood Development.
3. Sidewalks shall be installed on both sides of all public streets interior to the site.
4. All alleys shall be private and maintained by a duly established homeowners association.
5. See street section designs on detail sheets.
6. Street trees shall be installed at a rate of 1 tree per 40 linear feet of street and be planted within the designated tree lawn in the right of way. Placement of Street Trees along University Parkway, Elon Ossipee and Shallowford Church Roads shall be installed per NCDOT Guidelines.
7. Street trees shall be maintained by the home owners association.
8. The street layout is conceptual and subject to change. Approval by Town Staff is required.
9. All inside turning radii for streets without designated on street parking shall be 30'. Streets with designated parking shall have a curb radii of 20' and maintain an effective radius of greater than 30'.
10. An encroachment agreement with NCDOT will be required prior to construction on University Parkway and Elon-Ossipee Road
11. Driveway access for corner lots may access secondary street and shall not be required to access alley.
12. No On Street Parking is allowed on private alleys.
13. Refuse collection shall be provided via private contractor service. Specific site locations shall be reviewed and approved at the Major Development Plan Phase.
14. Mail CBU's shall be reviewed and approved at the Major Development Plan Phase.

details:

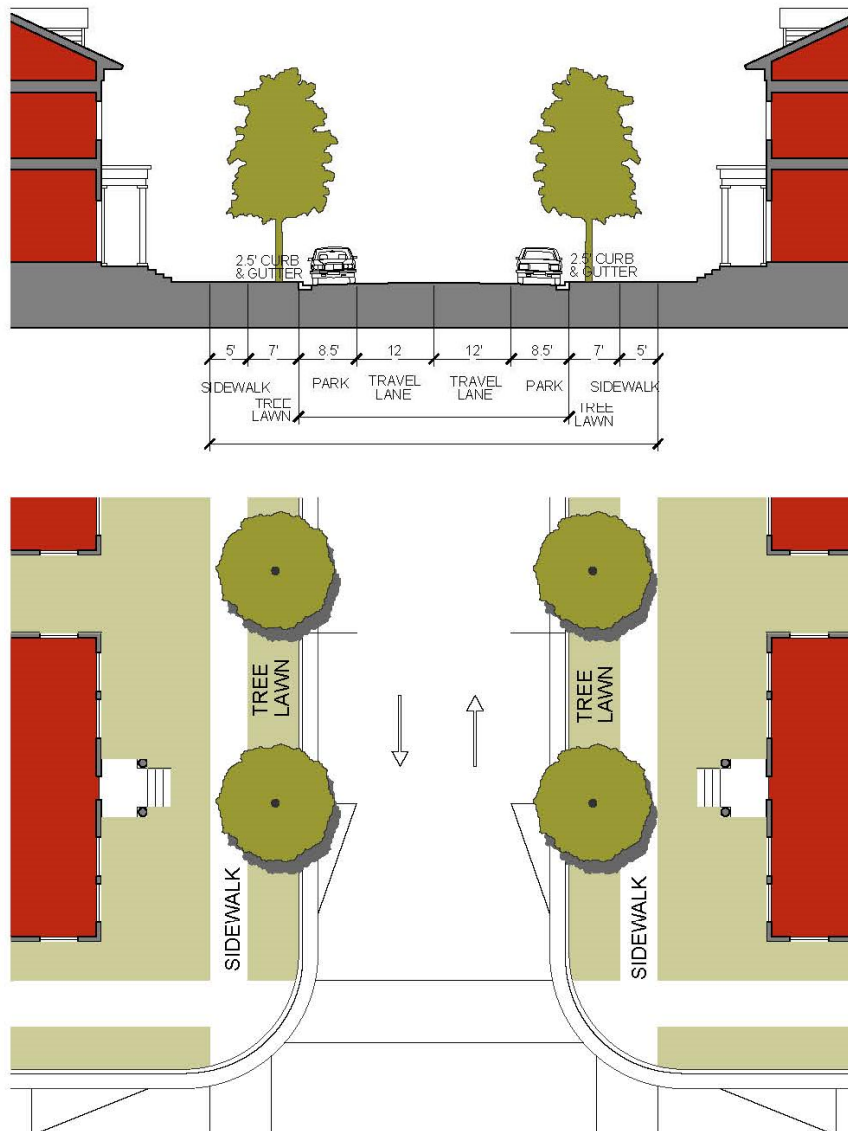


NEIGHBORHOOD STREET 52-27
PARC NORTHWEST
STREET SECTIONS

03-08-22

NTS

details:



NEIGHBORHOOD STREET 65-41
PARC NORTHWEST
STREET SECTIONS

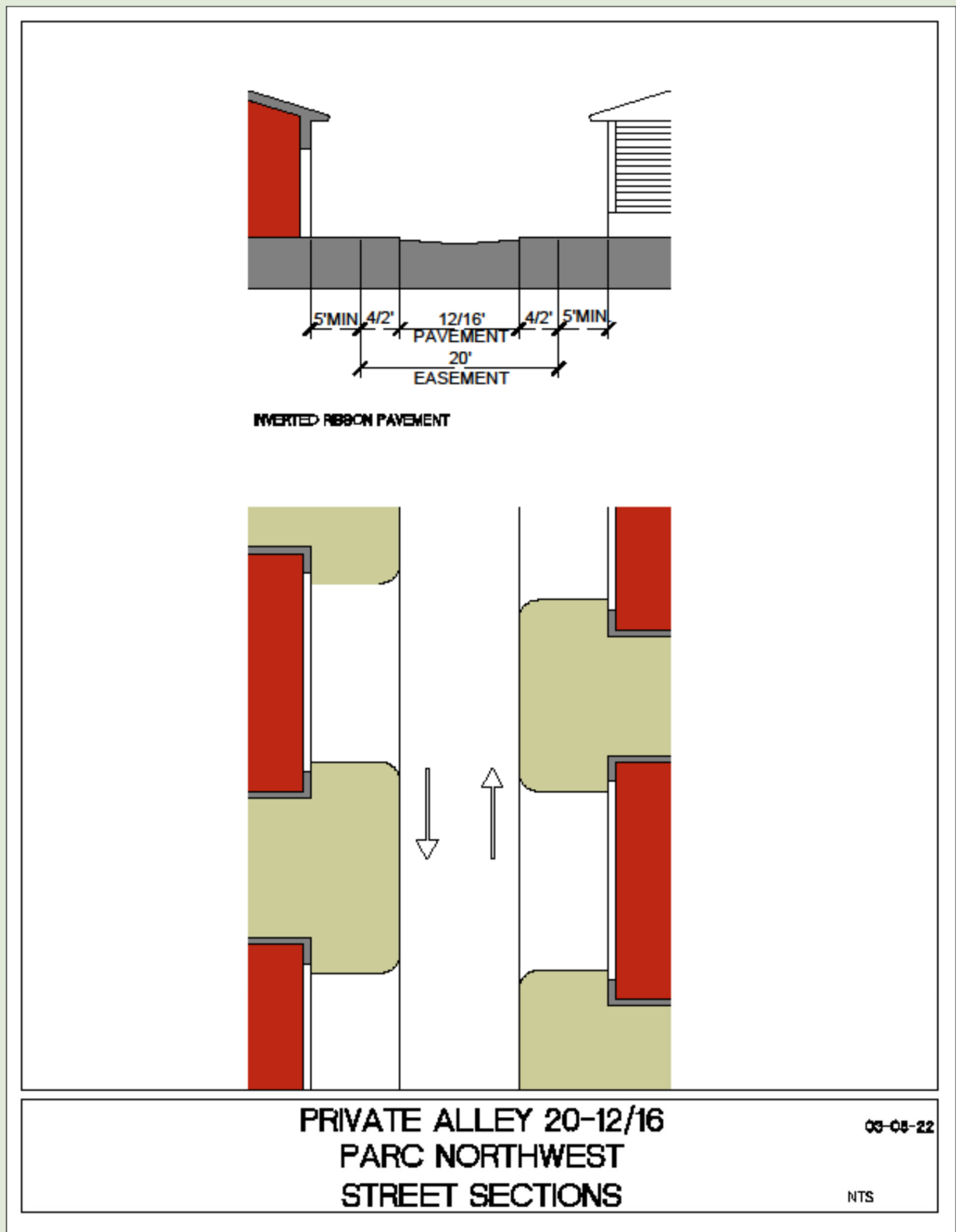
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NTS

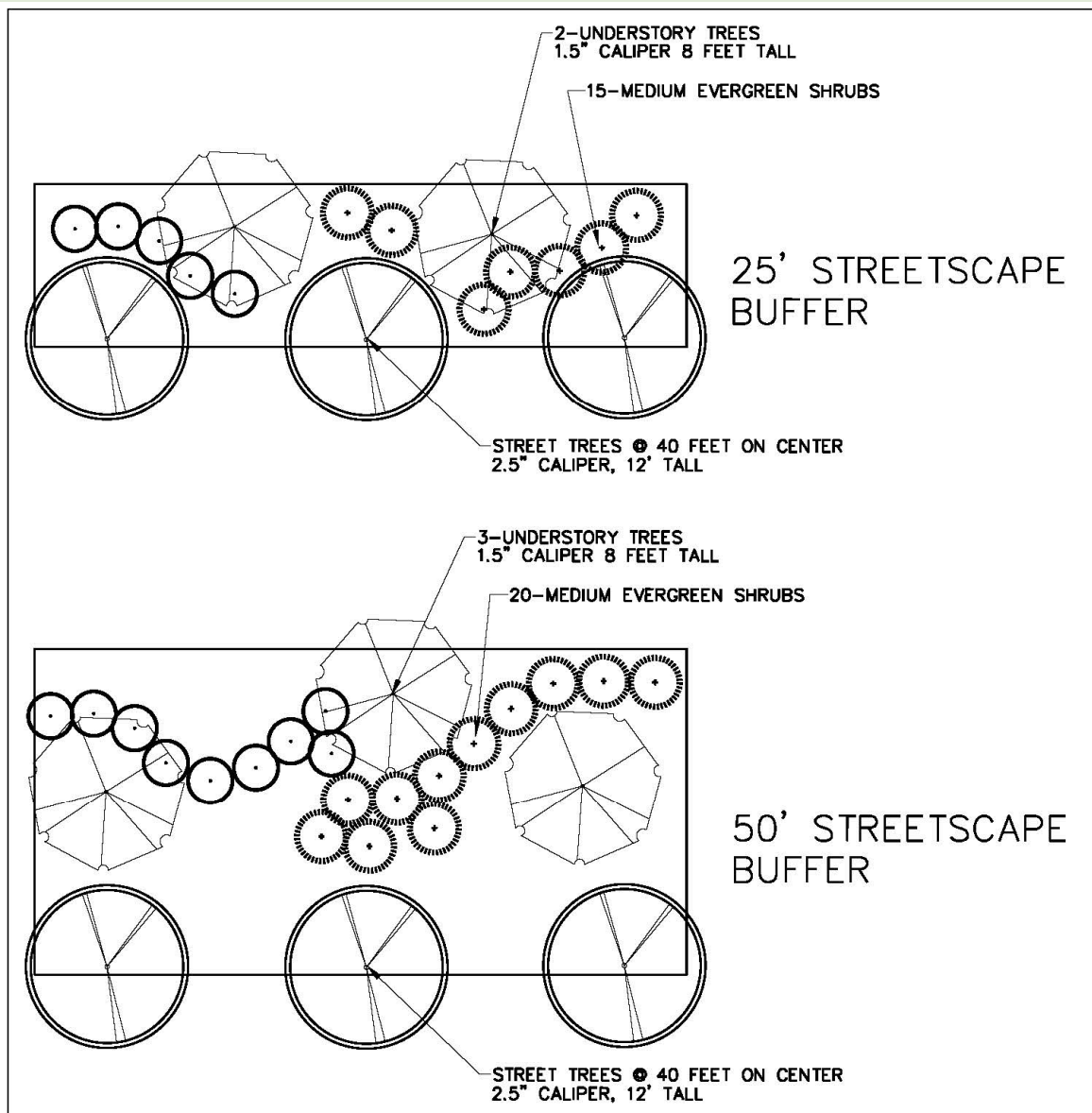
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details:

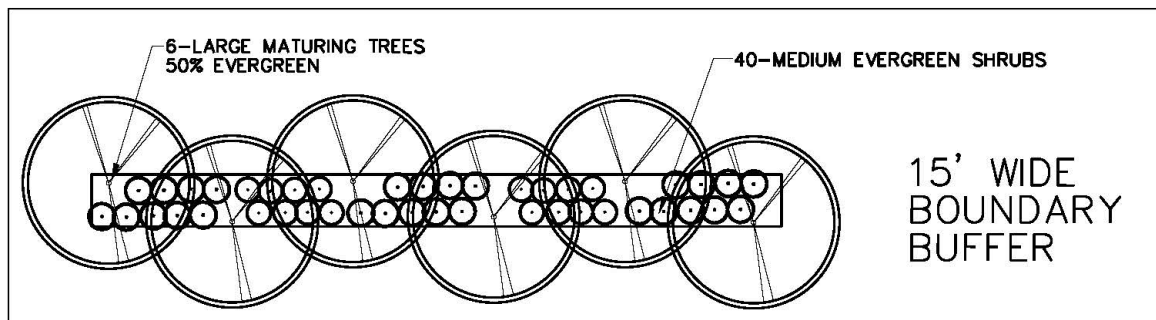


details:



25'-50' UNIVERSITY PARKWAY STREETSCAPE BUFFER DETAIL 100' SECTIONS

NOTE: EX. VEGETATION SHALL COUNT TOWARD
BUFFER PLANTING REQUIREMENTS



15' LANDSCAPE BUFFER DETAIL 15'x100' SECTION

NOTE: EX. VEGETATION SHALL COUNT TOWARD BUFFER
PLANTING REQUIREMENTS. SEE PLAN FOR LOCATIONS

details:



Outdoor Lighting

Mini Bell LED



The Mini Bell LED is an energy-efficient luminaire with a classic, sophisticated design. This fixture is an excellent choice for illuminating pathways and residential communities.

LED <i>(light-emitting diode)</i>	50 watts
Mounting height	12'
Color	Black
Poles	Colonial concrete Victorian concrete Washington concrete
Applications	Neighborhoods Parks Shopping centers Streets

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll-free at 866.769.6417.

STREET LAMP DETAILS

details:

Outdoor Lighting

Shoebox LED

The energy-efficient Shoebox LED is a green solution and great fit for commercial parking lots, malls, office buildings and streets providing a “white light” that will enhance the appearance of your site. The Shoebox LED delivers light where it is needed, while increasing visibility and reducing spill light

LED

(light-emitting diode)

Mounting height

Color

COMMUNITY INFORMATIONAL MEETING



May 23, 2022

Re: Invitation to participate in the Community Information Meeting for the re-zoning of the property located at the intersection of University Parkway, Elon Ossipe & Shallowford Church Roads. Alamance County GPIN 8846802218

Dear Neighbor:

You are invited to attend a Community Information Meeting on **June 9, 2022** at the **Town Hall Council Chambers** 104 S Williamson Avenue, Elon, NC, 27244 to discuss the proposed re-zoning of above stated property as shown on the attached map.

You are getting this notice because you are within the 500' notification boundary for our proposed rezoning. This meeting will be **held from 6:00pm-8:00pm**.

The applicant on this rezoning request is Greenhawk Corporation, Inc.

This parcel is currently zoned Neighborhood Residential (NR) and Village Center (VC) with overlay districts of Traditional Neighborhood Development (TND) and Manufactured Home Neighborhood (MHN) respectively. We are looking to change the Village Center with the MHN overlay district portion of the property to match with the Neighborhood Residential Zone. The following is an excerpt from the project narrative:

"The official Zoning Map for the Town indicated two planning districts, Neighborhood Residential and Village Center. The Town maps also reveal the presence of a Traditional Neighborhood Development (TND) Overlay District offering additional requirements to the traditional planning districts. This overlay district brings us to the design concept for parc northwest.

parc northwest has been carefully crafted in its rezoning request to fulfill the requirements of the Town and its vision for a quality development for a walkable community close to the university. Sustainable development mixing the everyday commercial service needs for residents with a variety of housing options with open spaces fulfills the desires of the Town long range objectives. Building types are situated close to the street to define the public realm and create the sense of spatial arrangement where the automobile is secondary. Tree lined streets are seamlessly connected within the neighborhood and to adjacent development and properties extending in the future."

This Community Information Meeting is being made available to you so that you can voice your questions or comments about this rezoning application.

If you have questions or are unable to attend the meeting, please reach out. My contact information below.

We look forward to speaking with you on June 9th.

Thank you,

Tony M. Tate, PLA,
Principal, TMTLA Associates
P: (919) 484-8880 E: tony@tmtla.com

TMTLA Associates
5011 Southpark Drive Suite 200 - Durham, NC 27713
p: (919) 484-8880 - e: info@tmtla.com

PROPOSED ZONING CONDITIONS

1. The maximum number of single family residential dwelling units shall be 200 units.
2. The maximum number of multi family dwelling units shall be 200 units.
3. The maximum square footage for non-residential units shall be 100,000 s.f.
4. The project shall provide customized standards to architecture, design and landscaping to review and approve all site plans and landscape plans.
5. On street parking spaces throughout the development (7) shall be counted toward the required number of spaces for any use.
6. A Master Sign Plan shall be submitted for review and approval prior to the installation of any signage.
7. All signage shall be restricted from the Village Center district.
- 7.1. Adult Business
- 7.2. Tattoo Parlors
- 7.3. Sweepstakes
- 7.4. Car Wash
- 7.5. Drive Through Car Wash
- 7.6. Drive Through Windows Associated with a Restaurant
- 7.7. Commercial Outdoor Kernels
- 7.8. Funeral Homes
- 7.9. Gasoline Stations
- 7.10. Outdoor Storage
- 7.11. Display or Service of Vehicles, Boats, Heavy Equipment or Manufactured Homes
- 7.12. Outdoor Storage of Construction Equipment
8. On street parking spaces shall not be used for long term parking or storage of unused vehicles.
9. Street public parking shall not be designated for use as off street parking spaces.
10. The Developer shall be subject to the following standards for the Village Plan, Development Standards, Dimensional Standards, and Committed Architectural Elements dated _____.
11. Streets will be developed in accordance with street actions approved with the Master Plan, Development Standards, and Committed Architectural Elements dated _____.
12. The development shall be held in full ownership or control through owner's association documents.
13. The developer will provide a pedestrian connection between the development and existing public sidewalk leading downtown on the western side of Williamson Avenue along the frontage of the Cable Mural LLC Property, PIN 110057.
14. The project shall be subject to the following standards for the Village Plan, Development Standards, Dimensional Standards, and Committed Architectural Elements dated _____.
15. The project proposes an additional typical street section of 27 ft back to back, private alley way typical sections, and site specific street geometry as presented on the conditional zoning plan of record.
16. The project shall be subject to the following standards for the Village Plan, Development Standards, Dimensional Standards, and Committed Architectural Elements dated _____.
17. The project shall be subject to the following standards for the Village Plan, Development Standards, Dimensional Standards, and Committed Architectural Elements dated _____.
18. The project proposes to conform to the Town of Elgin Ordinance standards for site lighting and site landscaping unless otherwise specified.

5/17/22 CONDITIONS ADDED

[illegible]

A. MIX OF BUILDING TYPES IN TOTAL		B. PROJECT		C. DEVIATION	
	LOO				NOTE
Detached Houses	15-50%		20%		
Attached Houses or Apts.	10-30%		31%		1%
Live-In/Work Units	5-20%		0%		1%
MIX OVER ABOVE CATEGORIES	5-2%		40%		20%

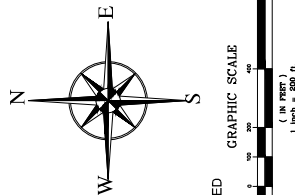
D. MIN. & MAX. LAND AREA FOR NON-RESIDENTIAL BUILDING TYPES		E. PROJECT		F. DEVIATION	
	LOO				NOTE
Storefront or Warehouse	4-30%		17%		
Office, Bank	3-15%		0%		3%
Offices, above Bldg.	6-15%		0%		NOTE

[illegible]

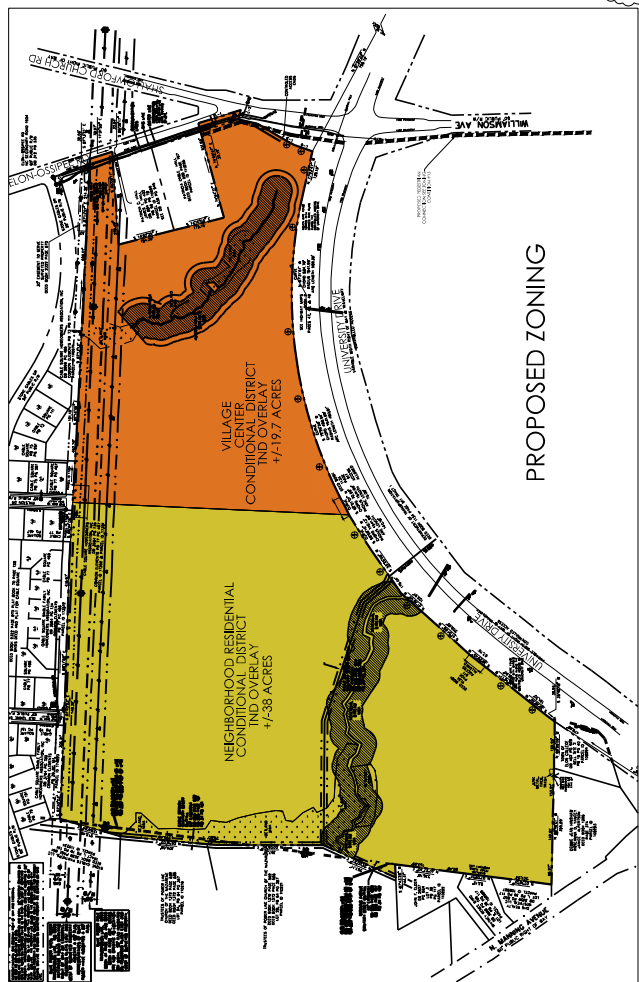
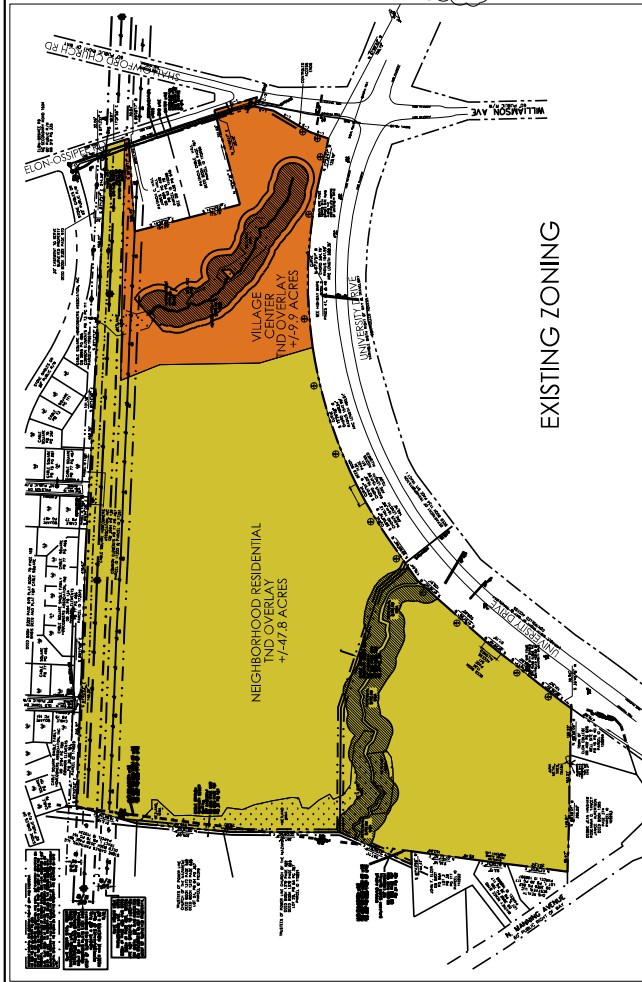
NOTES

- [illegible]

- Fire Protection Notes:**
- The project proposes to provide 26-T' clear space along street side and drive lanes side to facilitate fire apparatus access to hydrant locations where adjacent to multi-story buildings One, Two, and Three.
- The project proposes to limit the height of streetscape plantings behind the curb where adjacent to multi-story buildings One, Two, and Three to 10 feet.



5/17/22 NOTES ADDED



PUBLIC HEARING NOTICES



104 S. WILLIAMSON AVE. • P.O. BOX 595 • ELON, NC 27244
D (336) 584-3601 • F (336) 584-5334
elonnc.com

Public Notice Town of Elon Petition for REZONING

June 15, 2022

Re: Rezoning Request for a +/- 57.72-acre portion of Alamance County Parcel: #110257 (GPIN # 8846802218); located at the northwest intersection of University Dr. and Shallowford Church Rd.

Tony Tate, on behalf of Greenhawk Development, LLC., has requested a conditional rezoning of the referenced property from NR (Neighborhood Residential District), VC (Village Center District), and TND-O (Traditional Neighborhood Design Overlay) to NR-CPD (Neighborhood Residential Conditional Planning District), VC-CPD (Village Center Conditional Planning District), and TND-O (Traditional Neighborhood Design Overlay). Additional information is available on the Planning page of the Town's website: <https://www.townofelon.com>.

The state of North Carolina requires Town Council conduct a public hearing for approval of rezoning proposals following a recommendation from the Planning Board. The public hearing provides a forum for residents to formally share their input.

All meetings are held at Elon Town Hall, 401 S. Williamson Ave.

Tuesday, June 21, 2022, 6:00 p.m.

Elon Planning Board recommendation to Town Council

Monday, June 27th, 2022, at 6:00 p.m.

Elon Town Council (formerly Board of Aldermen) Public Hearing, accessible online and by call-in, see below.

Tuesday, July 12th, 2022, at 6:00 p.m.

Final Town Council vote on the rezoning request

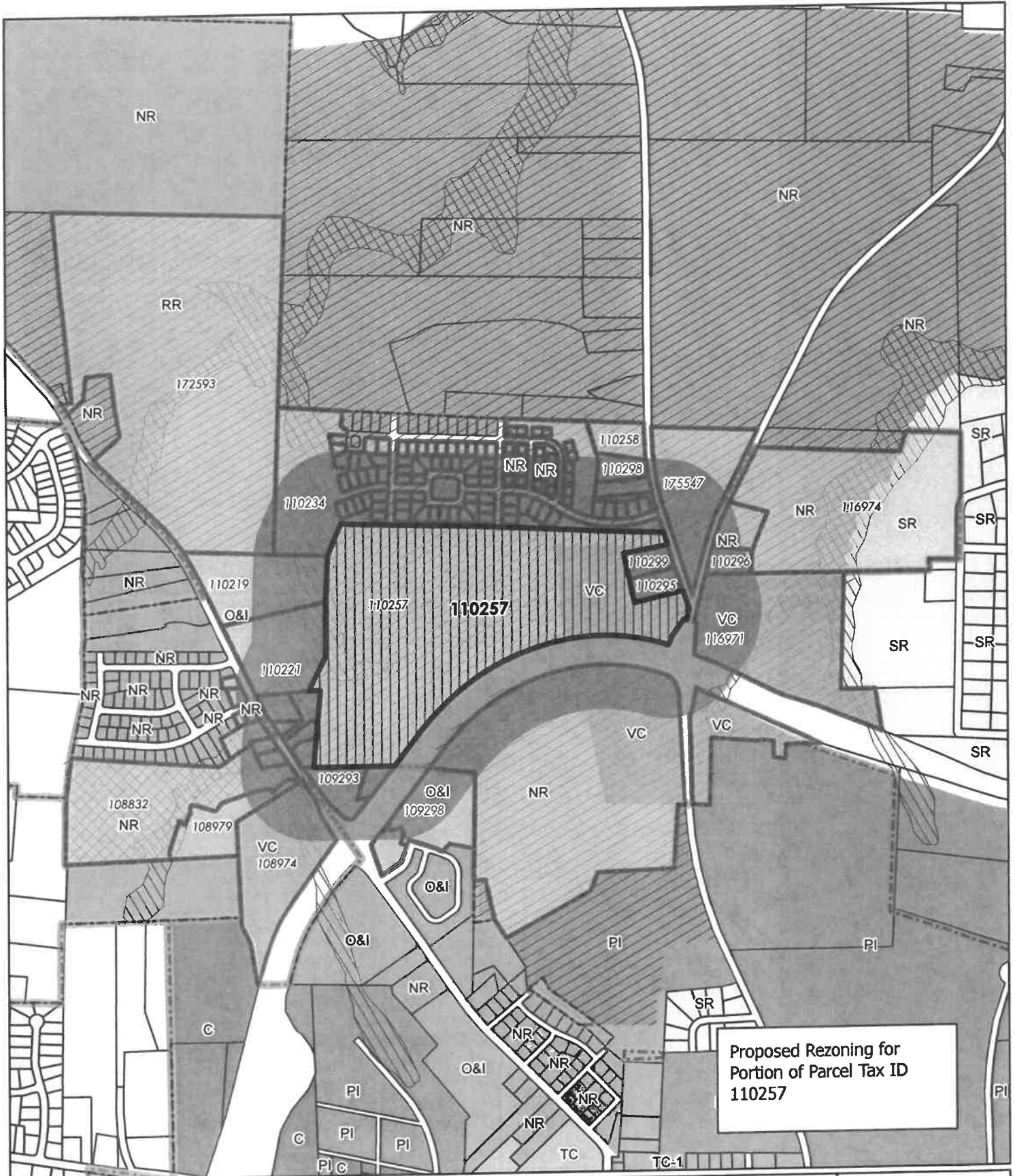
Rezoning potentially changes the land use and development regulations for a property. Conditional zoning opens a conversation about development specific to an individual site and how it interacts with the surrounding area. The process allows development to follow the vision and design of the developer within the parameters of the Town's Comprehensive Land Use Plan. You are encouraged to become informed and offer input on what's happening in your neighborhood as a nearby property owner.

If you cannot attend the meeting, you may forward written comments to be presented at the meeting. Comments must arrive before June 27th, 2022, by mail to the Town of Elon Planning Department, PO Box 595, Elon, NC, 27244, or by email to mharward@elon.gov.

Join the meeting through Zoom on your computer, smart device or telephone (listen only). Access to the meeting is available through a web link on the Town's website at www.townofelon.com. Citizens will be able to comment at the appropriate time using the chat feature to enter their comments.

This information is available in Spanish or any other language upon request. Please contact the Elon Planning Department at 335-584-2859 or at 104 S. Williamson Avenue for accommodations for this request. Hearing impaired persons desiring addition information or having questions regarding this subject matter should call the North Carolina Numbers for the Deaf at 1-800-735-8262. SPECIAL ACCOMODATIONS FOR INDIVIDUALS WITH DISABILITIES OR IMPAIRMENTS WILL BE MADE UPON REQUEST TO THE EXTENT THAT REASONABLE NOTICE IS GIVEN TO THE TOWN.





Proposed Rezoning for
Portion of Parcel Tax ID
110257

- Parcels touching Buffer
- SubjectProperty_500' Buffer
- SubjectPropertyPortion
- Alamance Tax Parcels

Land Use Overlay

- SP -Stream Protection
- TND - Traditional Neighborhood Development
- MHN - Manufactured Home Neighborhood



**Town of Elon
Planning**

MAPS



NC CGIA, Maxar, Microsoft

 SubjectPropertyPortion



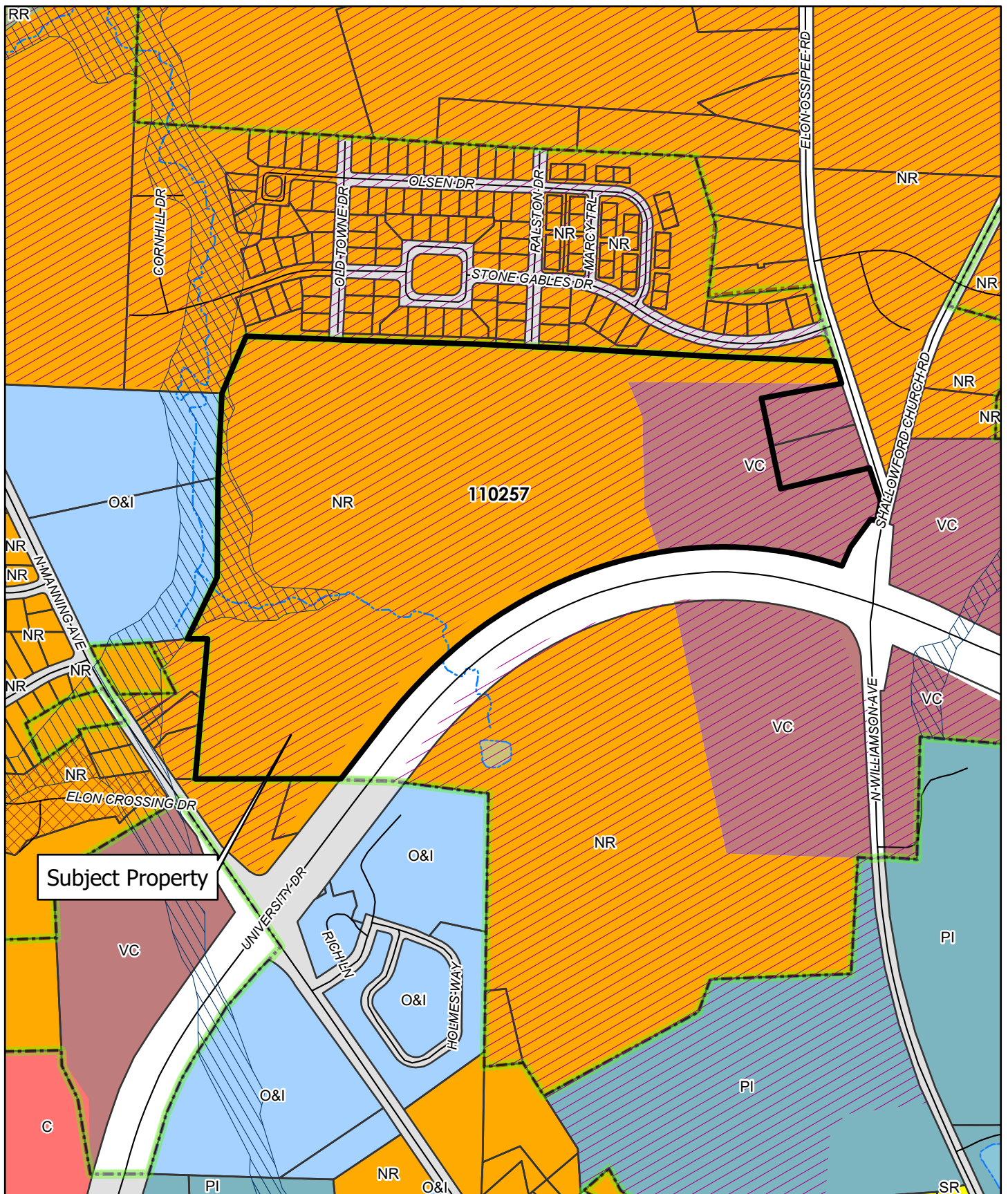
Town of Elon **Aerial Image** **Vicinity**

1 in = 500 ft



Rezoning Request
for Portion of Parcel
TaxID 110257

Print Date: 6/3/2022



Planning Districts

- RR
- SR
- NR
- UR
- NC
- VC
- TC
- TC-1
- C
- I
- O&I
- PI

Overlays

- Stream Protection
- Traditional Neighborhood Development
- Manufactured Home Neighborhood

Subject Property Portion



**Town of Elon
Planning Districts
Vicinity**

1 in = 500 ft



**Rezoning Request
for Portion of Parcel
TaxID 110257**

Print Date: 6/3/2022